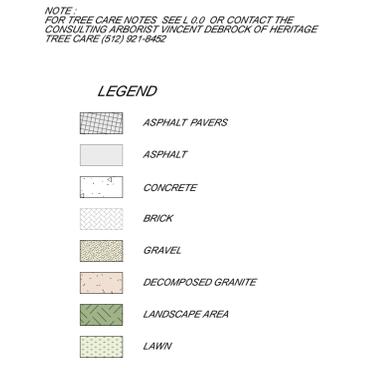
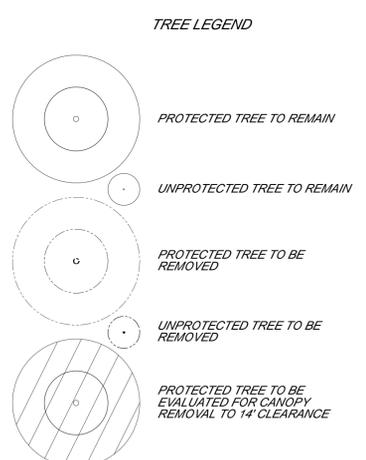


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1 PHASE 1 SITE PLAN
Scale: 1" = 40 ft

NON-BUILDING IMPERVIOUS COVER	
1 GR-H	SQUARE FOOTAGE
TOTAL GR-H AREA	191444.94
ASPHALT	21748.01
SPECIAL PAVER	152.55
CONCRETE	955.22
BRICK	50.35
LANDSCAPE WALLS	330.58
DG PARKING	13586.22
TOTAL GR IMPERVIOUS AREA	41807.56
2 GR	SQUARE FOOTAGE
TOTAL GR AREA	29151.95
ASPHALT	3381.17
TOTAL GR IMPERVIOUS AREA	3381.17
3 SF-3 (NORTH)	SQUARE FOOTAGE
TOTAL SF-3 NORTH AREA	17415.17
CONCRETE	483.97
TOTAL SF-3 NORTH IMPERVIOUS AREA	483.97
4 SF-3 (SOUTH)	SQUARE FOOTAGE
TOTAL SF-3 SOUTH AREA	8892.41
TOTAL SF-3 SOUTH IMPERVIOUS AREA	0



NOTE: FOR TREE CARE NOTES SEE L.O.D. OR CONTACT THE CONSULTING ARBORIST VINCENT DEBROCK OF HERITAGE TREE CARE (512) 921-8452

Mark Word Design
PO Box 41718
Austin, Texas 78704
TEL (512) 440-0013 FAX (512) 532-6146

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811 WEST LIVE OAK AUSTIN TX 78704

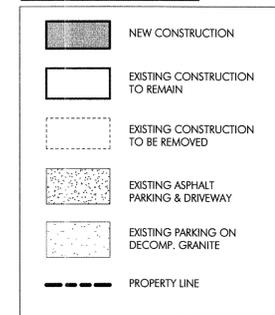
SCHEMATIC SITE PLAN
Not for permitting or construction

Issued / Revised	Date	Issued For
	08.06.2015	REVIEW
	11.17.2015	REVIEW

SCALE AS MARKED WHEN
PRINTED ON 24X36
HALF SCALE WHEN
PRINTED ON 12X18

Owner Project No.:
Architect's Project No.:
Drawn By:

DRAWING LEGEND



GENERAL NOTES

1. SITE INFORMATION TAKEN FROM SURVEY PERFORMED BY KBGE ENGINEERING ON 08/12/2015 UNDER THE SUPERVISION OF ABRAHAM C. DASHNER, RPS NO. 5901, KBGE ENGINEERING, 105 W. RIVERSIDE DRIVE, SUITE 110, AUSTIN TX 78704.

AREA CALCULATIONS

1. FOR PARKING & AREA CALCULATIONS, REFER TO CIVIL.

Architects
Clayton & Little

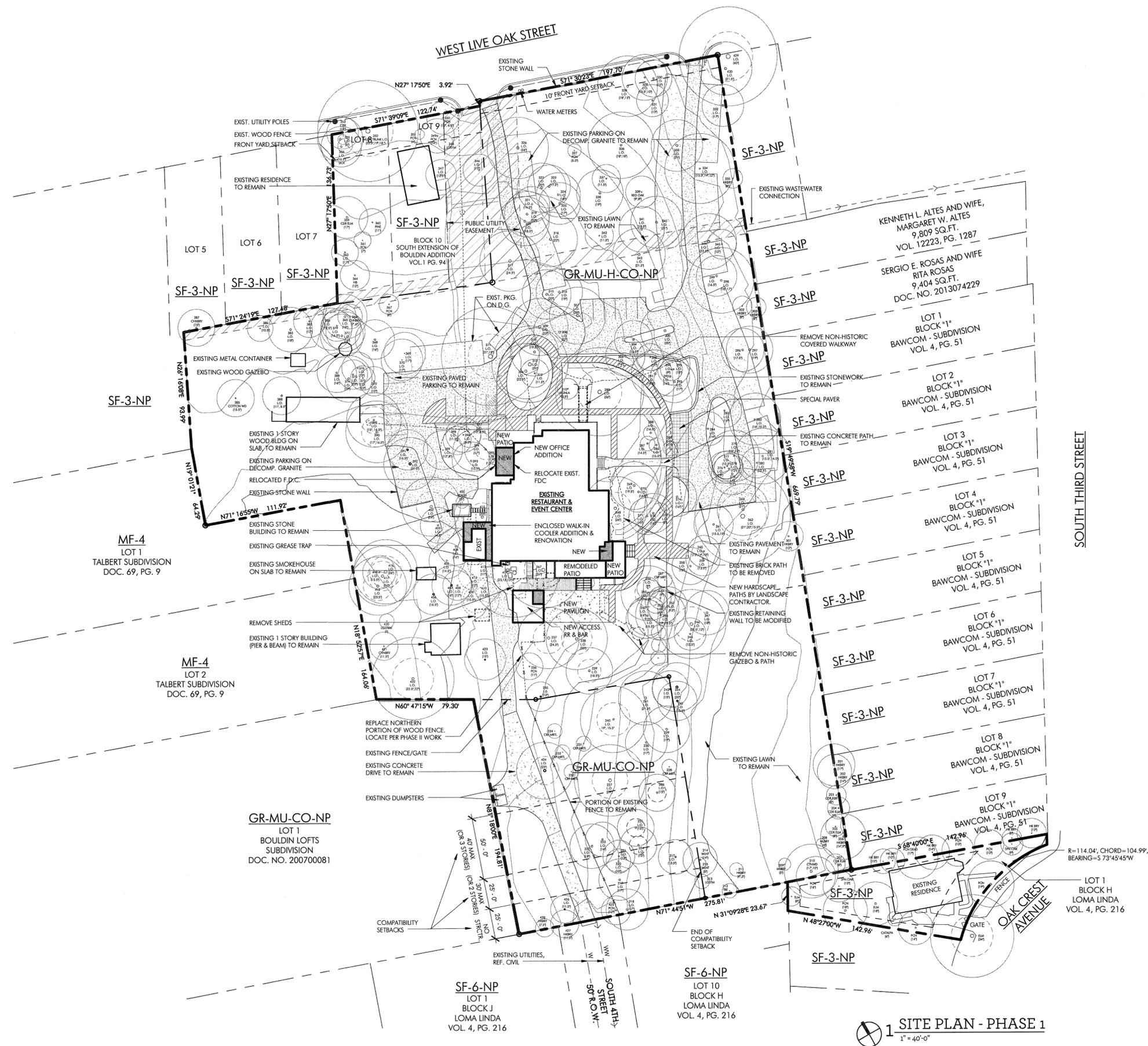
1001 East 8th Street
Austin, Texas 78702
512.477.1757

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FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.



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SITE PLAN

A1.0

11/23/2015 11:00:48 AM



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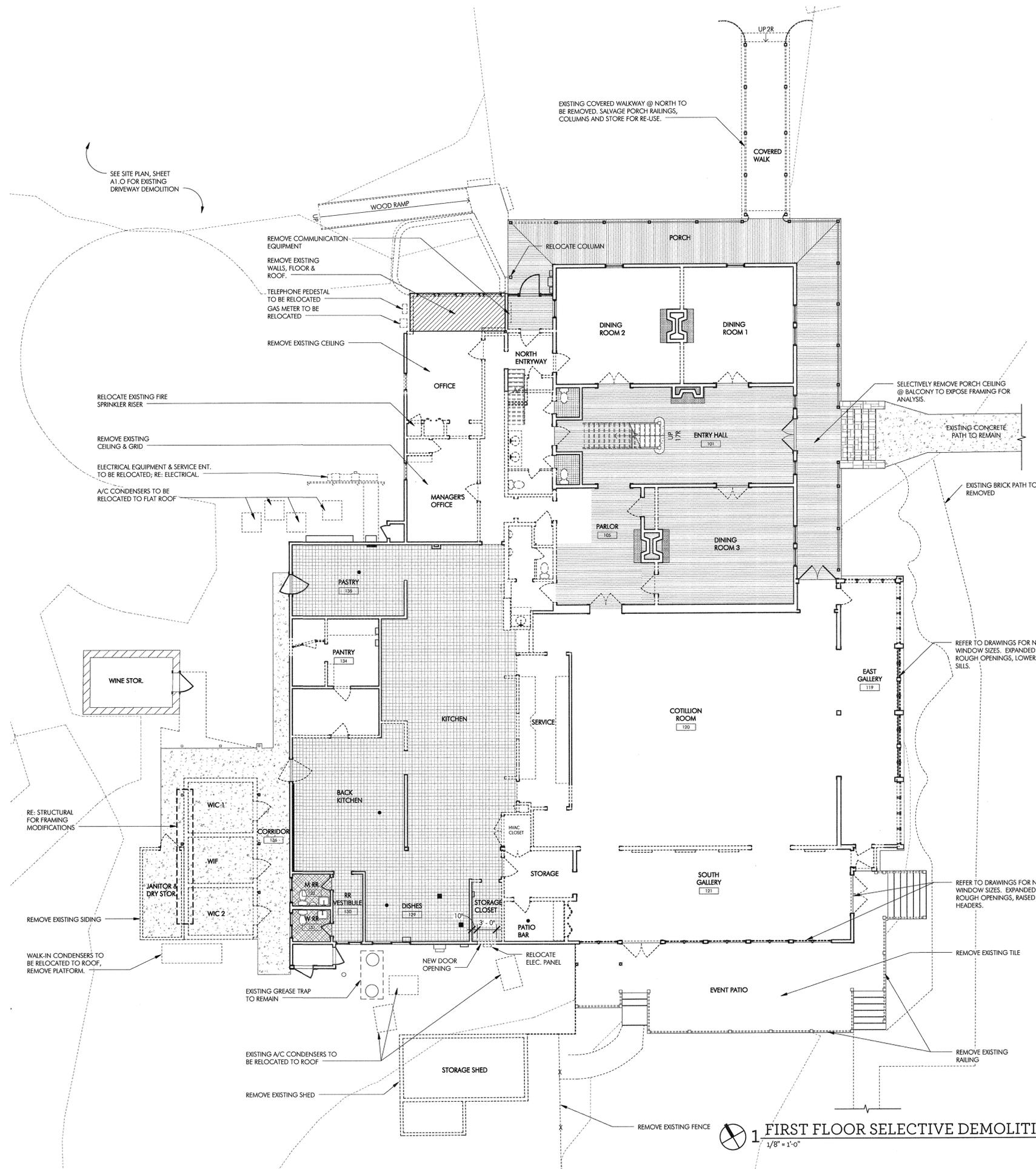
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DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	WOOD FLOORING
	WOOD DECKING
	TILE
	CARPET
	CONCRETE
	BRICK PAVERS

DEMOLITION NOTES

1. DOCUMENT ALL AREAS TO BE SELECTIVELY DEMOLISHED PRIOR TO PERFORMING ANY WORK. DOCUMENTATION TO INCLUDE PHOTOGRAPHS AND MEASURED DRAWINGS. DOCUMENTATION TO BE CLEARLY LABELED AND DELIVERED TO ARCHITECT AND OWNER.
2. CONTRACTOR TO COORDINATE HAZARDOUS MATERIAL ABATEMENT PRIOR TO GENERAL DEMOLITION.
3. REFERENCE HISTORICAL NOTES ON COVER SHEET.
4. THE DEMOLITION STAGE IS CRITICAL TO THE SUCCESS OF THIS PROJECT AND MUST BE CONSIDERED A STAGE OF DISCOVERY. EXTREME CARE MUST BE TAKEN, ESPECIALLY IN AREAS OF QUESTION TO NOT DESTROY ORIGINAL MATERIALS. RECKLESS DESTRUCTION OF SALVAGEABLE, RE-USEABLE ORIGINAL MATERIALS WILL NOT BE ALLOWED AND GC WILL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED MATERIALS.
5. THE INTENT OF THE DEMOLITION PLAN IS TO REMOVE ALL ITEMS NOT REQUIRED FOR THE FINISHED PROJECT; OR THAT IS IN CONFLICT WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE/RELOCATE ALL SUCH ITEMS AS REQUIRED FOR CONSTRUCTION.
6. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.
7. SALVAGE ALL DOORS & DOOR HARDWARE, LIGHT FIXTURES & ALL ITEMS NOTED ON DEMOLITION PLAN. REVIEW WITH ARCHITECT & OWNER TO DETERMINE ITEMS FOR REUSE.
8. ITEMS NOTED TO BE SAVED OR SALVAGED FOR REUSE ARE TO BE STORED ON SITE, FOR REUSE BY THE OWNER OR GENERAL CONTRACTOR AT THIS SITE. ALL ITEMS NOTED REMOVE/RETAIN FOR FUTURE USE SHALL BE PHOTOGRAPHED IN PLACE, CLEARLY LABELED AND STORED.
9. PATCH, REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE FINISHES INDICATED.
10. PROTECT EXISTING TREES TO CITY OF AUSTIN STANDARDS. CONTACT OWNERS ARBORIST FOR ANY TREE WORK.
Vincent Diebrock, Heritage Tree Care, 512.921.8452
11. REMOVE ROTTED WOOD WHEN ENCOUNTERED. DOCUMENT EXISTING CONDITION FOR REPLACEMENT. REVIEW SCOPE WITH ARCHITECT PRIOR TO REMOVAL.
12. AFTER PARTIAL DEMOLITION, ARCHITECT AND STRUCTURAL ENGINEER TO REVIEW AND ADVISE FOR REPAIR/ MODIFICATION SCOPE.
13. EXISTING WALLS AND STRUCTURE ARE NOT NECESSARILY SHOWN IN THEIR ENTIRETY OR ABSOLUTELY CORRECT LOCATION. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION AND OR CLARIFICATION.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.
15. REFERENCE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR DEMOLITION WORK ASSOCIATED WITH NEW SYSTEMS CONSTRUCTION AND FOR THE EXTENT OF EXISTING SYSTEMS TO BE REMOVED.
16. COORDINATE SUPPORT FOR NEW WALL OPENINGS (OR WALLS TO BE REMOVED) WITH STRUCTURAL DRAWINGS. WHERE APPLICABLE, INSTALL NEW STRUCTURAL MEMBERS (OR ADEQUATE SHORING/BRACING) BEFORE CUTTING OPENINGS.
17. ALL DIMENSIONS AND CONDITIONS ABUTTING THE EXISTING CONSTRUCTION ARE APPROXIMATE. ALL SUCH CONDITIONS SHALL BE FIELD VERIFIED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT DURING THE PRE-BID INVESTIGATION OR POST CONTRACT AWARD. OPENING SIZES NOTED ON THE DEMOLITION DRAWINGS ARE TO BE COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS, PRIOR TO CUTTING OPENINGS.
18. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
19. POTABLE WATER AND ELECTRICITY WILL BE PROVIDED BY THE OWNER AS NEEDED FOR DEMOLITION & CONSTRUCTION PHASES.



1 FIRST FLOOR SELECTIVE DEMOLITION PLAN
1/8" = 1'-0"

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SELECTIVE DEMOLITION PLAN - FIRST FLOOR

D1.1



FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

DRAWING LEGEND

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	WOOD FLOORING
	WOOD DECKING
	TILE
	CARPET
	CONCRETE
	BRICK PAVERS

GENERAL NOTES

- ALL HAND SINKS SHALL BE SUPPLIED WITH HOT (100°F MIN.) AND COLD WATER. WATER SHALL BE DELIVERED UNDER PRESSURE THROUGH A THERMAL MIXING VALVE. ALL HAND SINKS SHALL DRAIN TO THE SEWER, RE: PLUMBING.
- ALL THREADED HOSE BIBS INSIDE AND OUTSIDE THE ESTABLISHMENT SHALL HAVE AN ATMOSPHERIC VACUUM BREAKER OR BACKFLOW PREVENTION DEVICE.
- DRAIN LINES FROM CULINARY SINKS, ICE MACHINES, ICE STORAGE BINS AND WARE WASHING SINKS SHALL BE PROVIDED WITH AT LEAST ONE INCH AIR GAP, AND BE DRAINED TO AN APPROVED WASTEWATER SYSTEM, RE: PLUMBING.
- REFER TO PLUMBING DRAWINGS FOR GREASE WASTE INFORMATION.
- ALL REFRIGERATION EQUIPMENT TO BE CAPABLE OF MAINTAINING HAZARDOUS FOODS AT OR BELOW 41°F. REFER TO EQUIPMENT CUT SHEETS.
- DUMPSTERS ARE SHOWN ON SITE PLAN.
- ALL RESTROOMS TO HAVE FORCED AIR VENTILATION TO THE OUTSIDE AND SOLID, SELF-CLOSING DOORS.

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PHASE 1

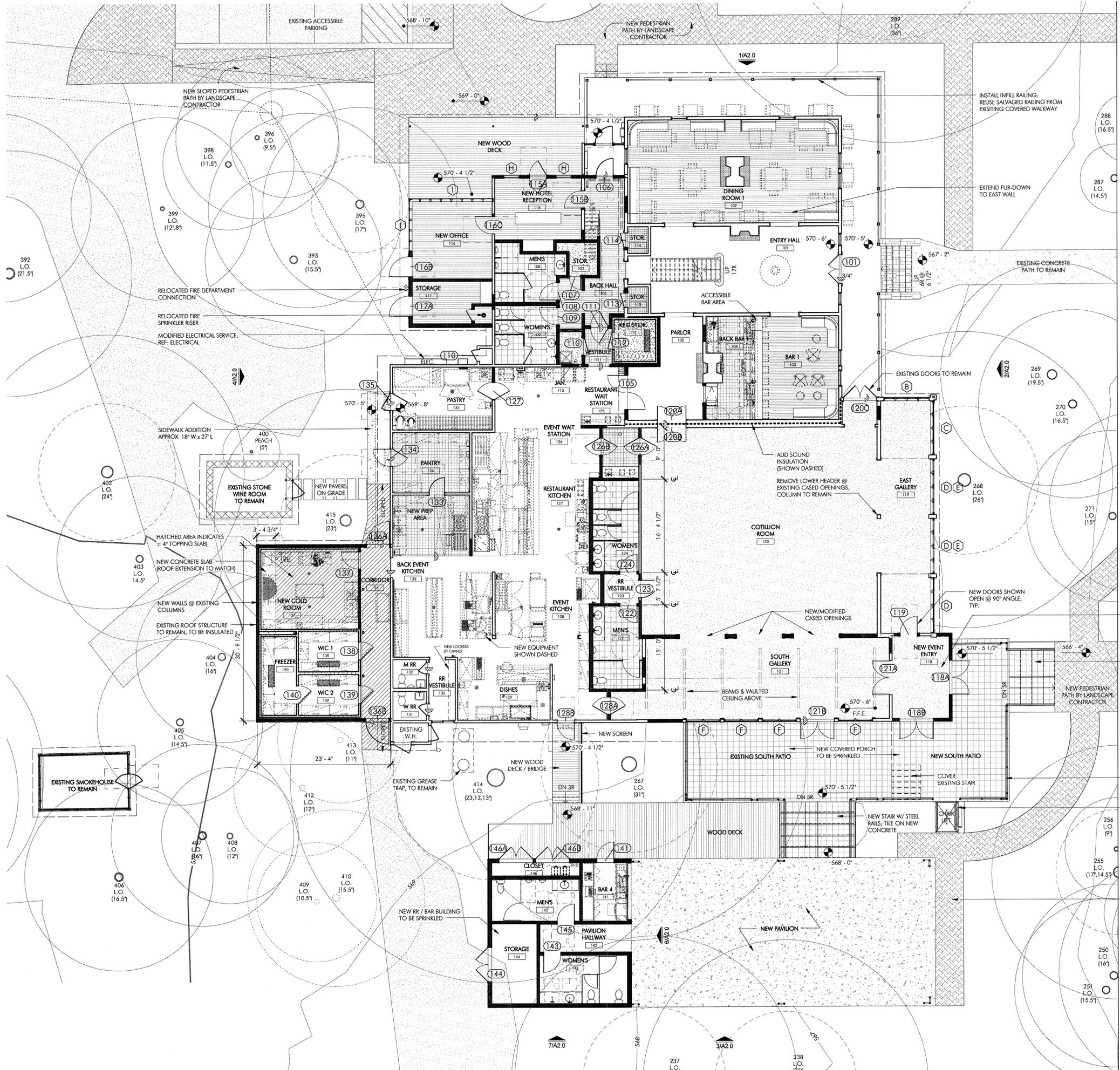
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FIRST FLOOR PLAN

A1.1

1 FIRST FLOOR PLAN
1/8" = 1'-0"



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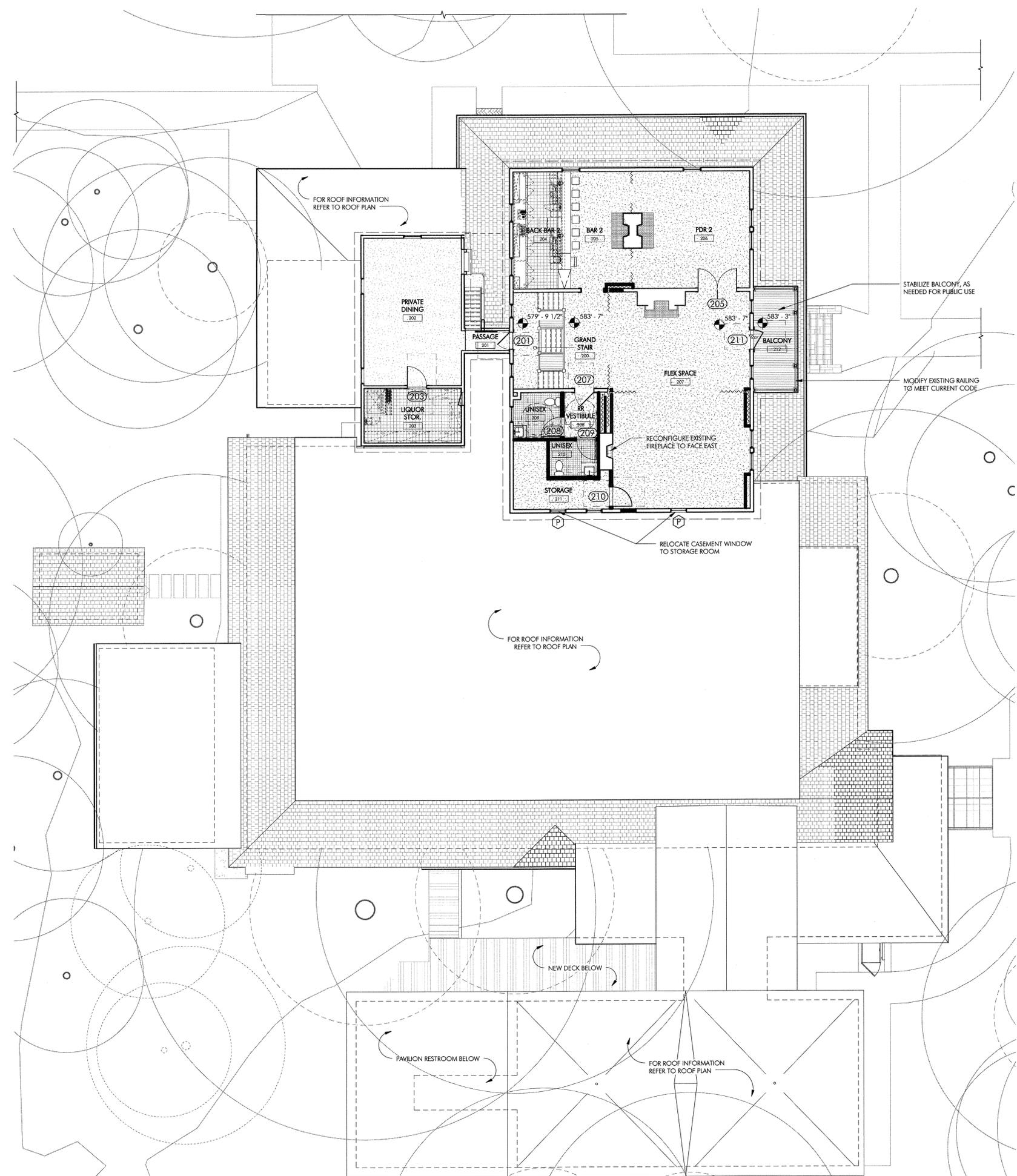


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DRAWING LEGEND

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	WOOD FLOORING
	WOOD DECKING
	TILE
	CARPET
	CONCRETE
	BRICK PAVERS



1 SECOND FLOOR PLAN
1/8" = 1'-0"

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SECOND FLOOR PLAN

A1.2



FIELD INSPECTION REQUIRED

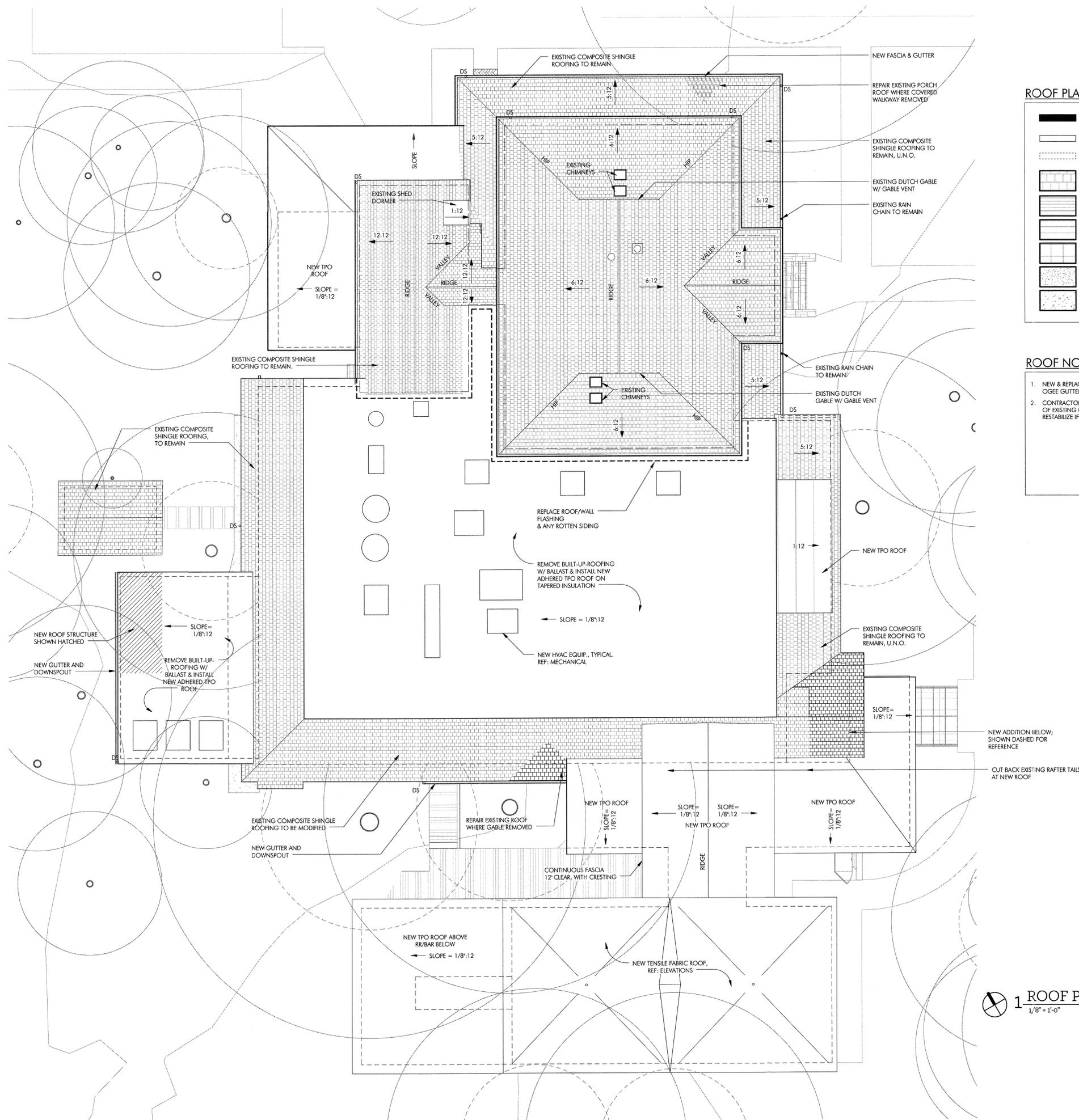
Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

ROOF PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- COMPOSITE SHINGLE ROOFING
- WOOD FLOORING
- WOOD DECKING
- TILE
- CARPET
- CONCRETE

ROOF NOTES

1. NEW & REPLACED GUTTERS TO BE PREFINISHED OGEE GUTTERS TO MATCH EXISTING, TYPICAL.
2. CONTRACTOR TO REPORT ON CONDITION OF EXISTING CHIMNEYS. REPOINT, REPAIR & RESTABILIZE IF NECESSARY.



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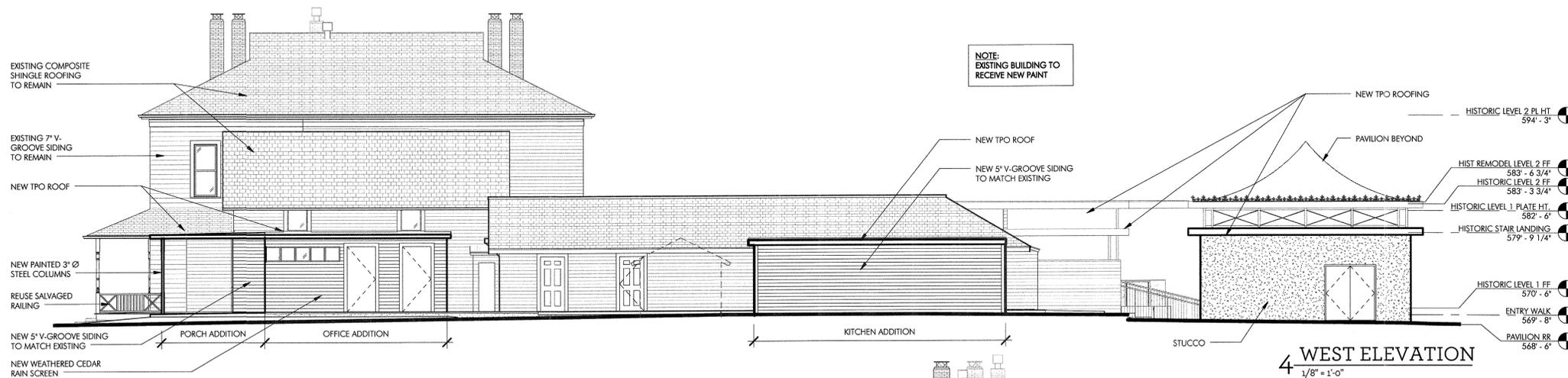
ROOF PLAN

1 ROOF PLAN
1/8" = 1'-0"

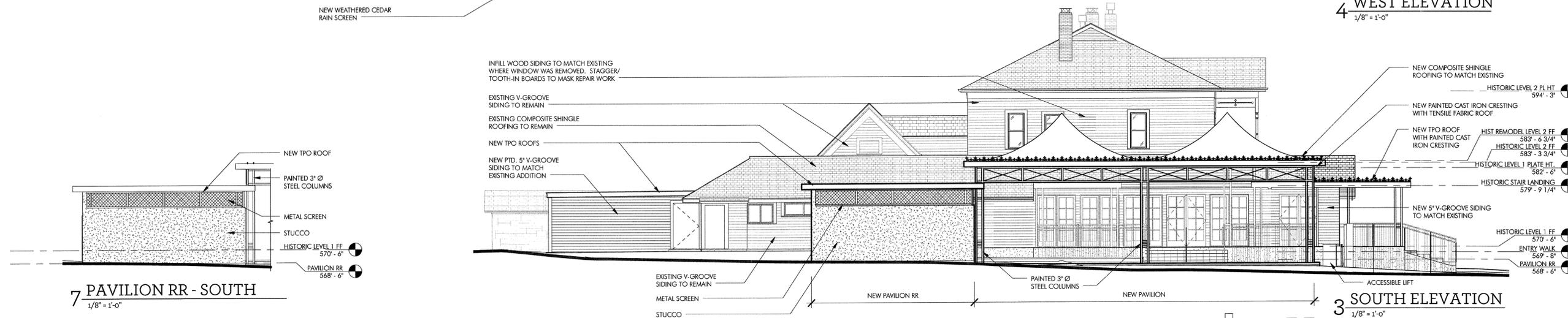


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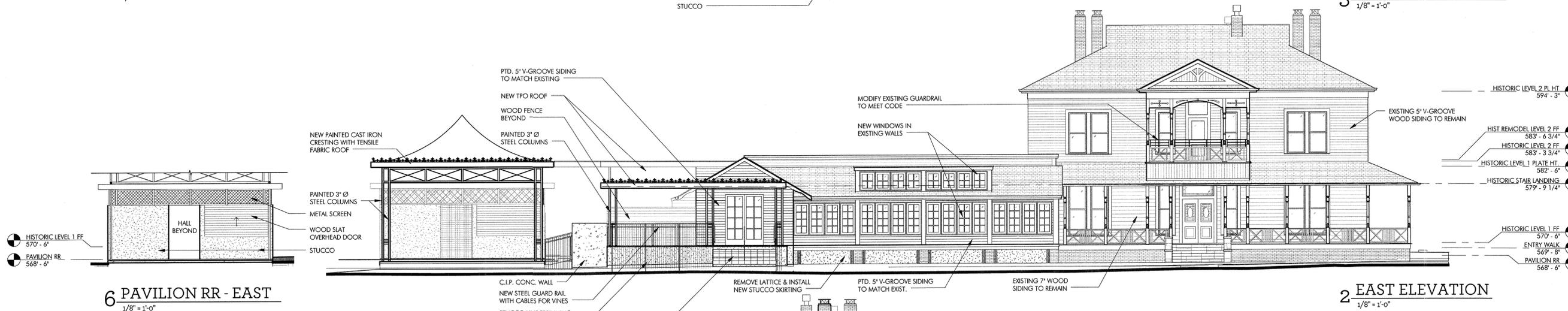
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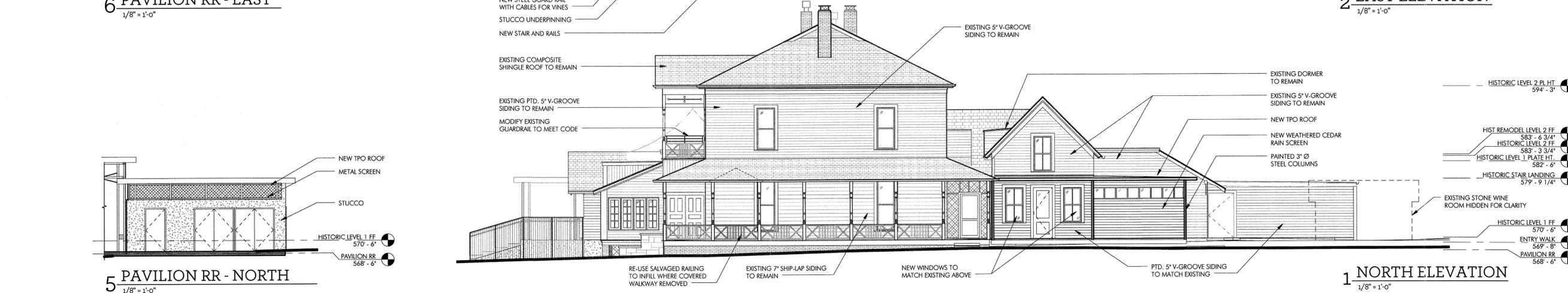
4 WEST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

7 PAVILION RR - SOUTH
1/8" = 1'-0"

6 PAVILION RR - EAST
1/8" = 1'-0"

5 PAVILION RR - NORTH
1/8" = 1'-0"

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EXTERIOR ELEVATIONS

A2.0

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construction purposes.

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discrepancies to the architect.

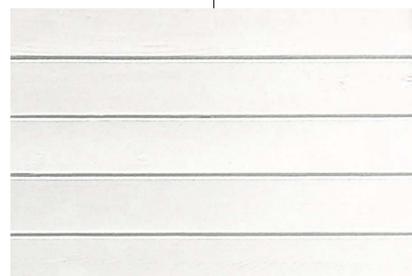


NORTH ELEVATION

NTS



EXISTING PAINTED WOOD SIDING,
7" SMOOTH SHIPLAP, WHITE



EXISTING PAINTED WOOD SIDING,zz
5" V-GROOVE, WHITE



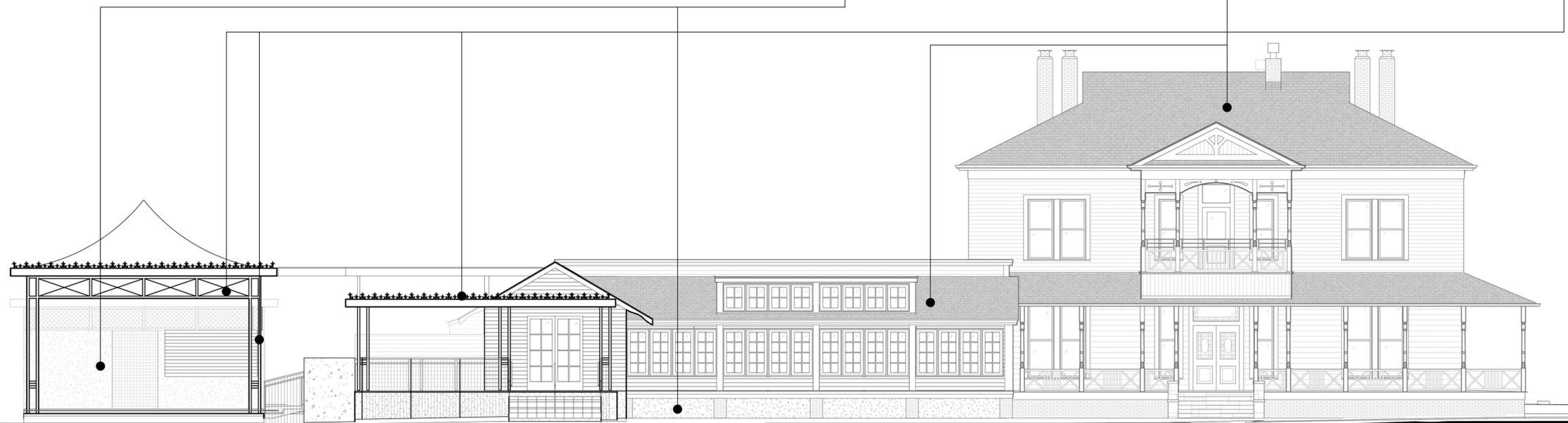
SMOOTH STUCCO WITH
INTEGRAL COLOR, WHITE



EXISTING COMPOSITE SHINGLES,
NEW TO MATCH



PAINTED CAST IRON/STEEL
CRESTING & COLUMNS, DARK GREY



EAST ELEVATION

NTS

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EXTERIOR MATERIALS

A2.1



VIEW OF NEW HOTEL ENTRY FROM NORTHWEST

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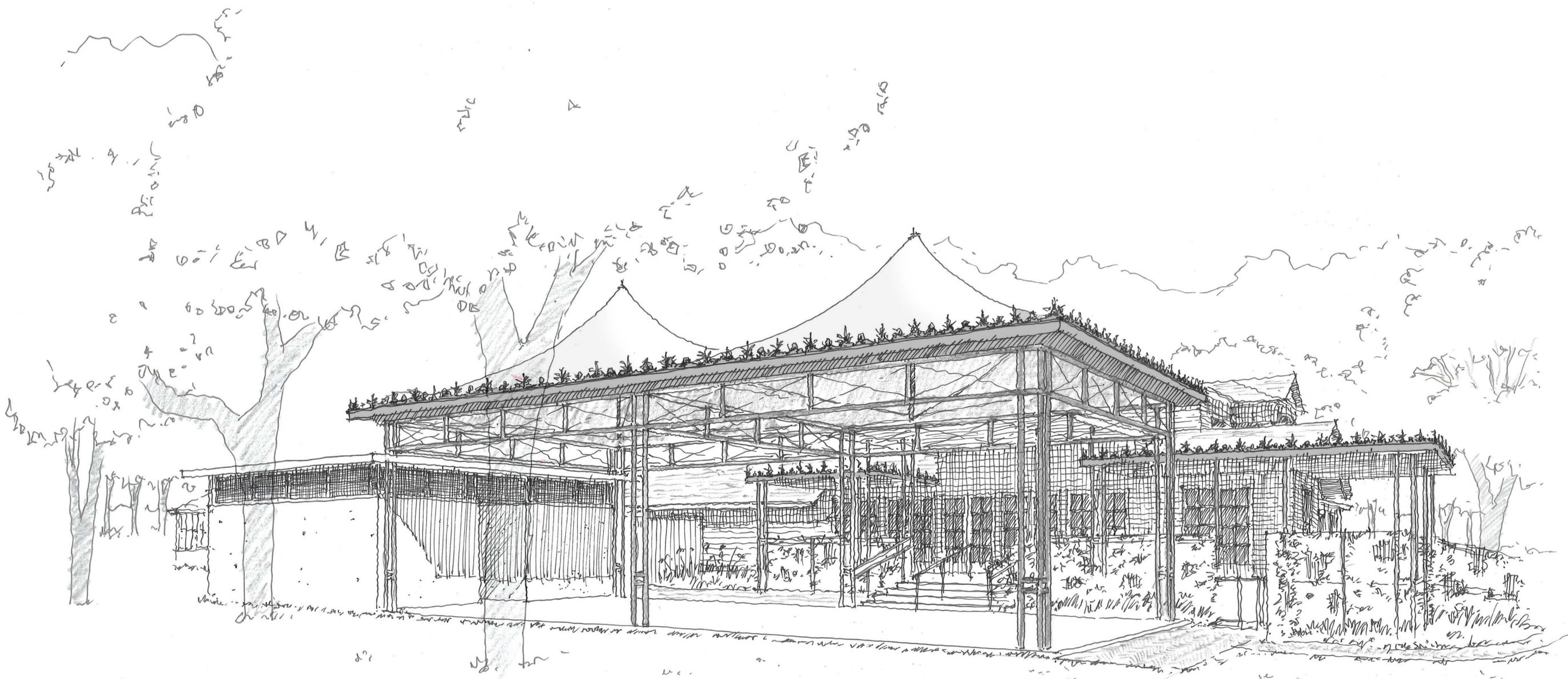
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PERSPECTIVE RENDERING

A2.2



VIEW OF NEW PAVILION FROM SOUTHEAST

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PERSPECTIVE RENDERING

A2.3